



MEMORANDUM

TO: CHIEF ADMINISTRATIVE OFFICER
FROM: BRIGID REYNOLDS, CONSULTING TOWN PLANNER
SUBJECT: DVP2025-06 169 SOUTH SHORE ROAD
MEETING DATE: SEPTEMBER 19, 2025
SUBJECT PROPERTY: LOT A, DISTRICT LOT 12, COWICHAN LAKE DISTRICT, PLAN 31954

Purpose

The purpose of this report is to vary Zoning Bylaw No. 1055, Schedule B, Section 7.2 a) iv) to reduce the number of parking stalls for the commercial building at 169 South Shore Rd.

Background

The subject property is 833 m² (8,973 ft²) in size and is zoned Commercial 1 (C1). The commercial building has 581 m² (6,260 ft²) of gross floor area, excluding a utility room. There is a total of 5 commercial units in the building.

Zoning Bylaw Schedule B, Section 7.2, Table B-1 regulates the parking requirements. The property owner is adding an accessibility ramp in the front of the building requiring a building permit and this triggered a review of the parking.

The Zoning Bylaw Schedule B, Section 7.2 a) iv) requires 2 parking stalls per 100m² of GFA for a commercial building and one loading zone. For 581 m² of GFA, 12 parking stalls are required. The property currently has 6 parking stalls, including one accessible stall as shown the site plan in Attachment 1. The parking stall at the rear of the building, shown as #7, is the loading zone.

Zoning Bylaw Schedule B, Section 6.1 provides an opportunity for owners to provide cash in lieu of \$4,000 per parking stall. The owner has paid \$12,000 in lieu of 3 parking stalls. The funds collected through cash in lieu are required to be placed in a reserve fund and must be used for transportation related improvements for pedestrians, cyclists as well as vehicles.

Table no. 1 provides a breakdown of the required parking, actual parking, cash in lieu of parking, and the variance request.

Table no. 1 – Breakdown of Parking Stalls

Description	Number of Parking Stalls
Required number of parking stalls	12
Stalls provided on site	6
Cash in lieu of parking stalls	3
Variance request	3

The owner is therefore requesting a variance for the remaining 3 parking stall.

This is an existing commercial building with no ability to provide additional parking. Zoning Bylaw, Schedule B, Section 5 provides consideration for reducing parking in the Uptown Core area, recognizing the challenge of providing parking in Lake Cowichan’s older developed downtown.

OCP, Section 6.5.4.10. states the following “[P]arking and other works and service requirements may be reduced or altered in special circumstances through the Development Variance Permit process where strict compliance with the bylaws would unduly restrict appropriate development or would undermine the character of the area.

The owner has installed a bicycle rack, an accessible parking stall, and is installing an accessible access ramp into the building.

As this is an existing building, there is policy support in the Zoning Bylaw and OCP for the request, the owner is installing accessibility elements for the building, and the owner is providing cash in lieu of parking, the contract planner recommends support for the requested variance.

Public Notification

Development Approval Procedures and Notification Bylaw No. 1109-2024 and the Local Government Act Section 499 require notice a minimum of 10 days prior to Council’s consideration of the request. The notice was mailed out on August 27, 2025 and at the time of preparing the staff report 0 comments have been received.

Options

- 1) Grant the variance request for this application.
- 2) Deny the variance request for this application.
- 3) Provide direction to the applicant and contract planner on another action.

Recommendation

The contract planner recommends granting the variance request for this application as follows:

For the property located at 169 South Shore Road, legally described as Lot A, District Lot 12, Cowichan Lake District, Plan VIP31954 (PID: 000-048-356) to vary Zoning Bylaw Schedule B, Section 7.2, a) iv) for 3 parking stalls.

Signed:

Brigid Reynolds

Brigid Reynolds RPP MCIP

Contract Planner

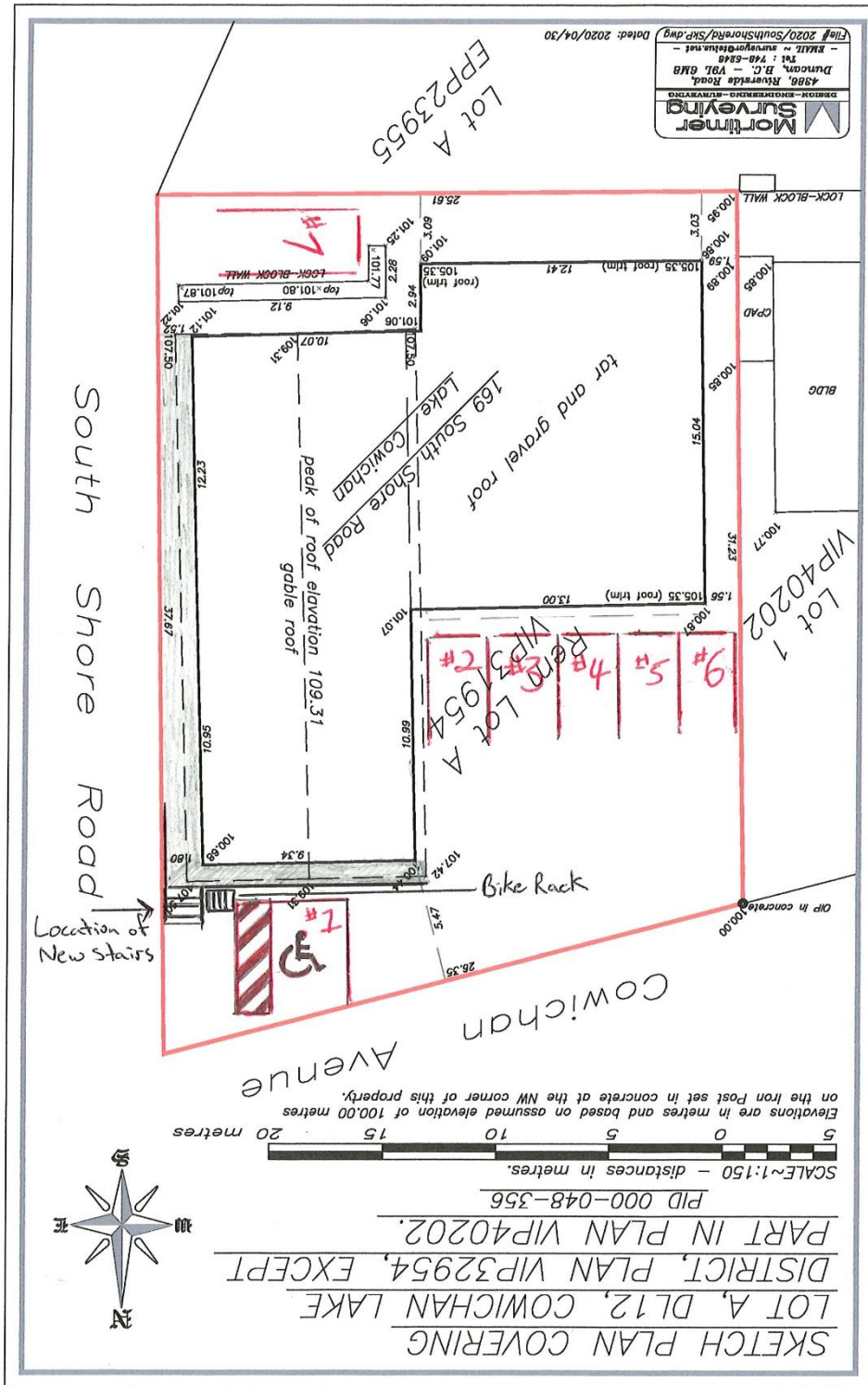
Concurrence:

John Thomas

John Thomas

Chief Administrative Officer

Attachment 1
Site Plan



Attachment 2
Elevation

