

Staff Report

To: Joe Fernandez, Chief Administrative Officer

From: James van Hemert, Consulting Planner

Date: April 30, 2024

Re: Application for 46 Renfrew Avenue for the following:

- 1) **Development Permit** in accordance with Natural Hazard Lands –Wildfire Area (DPA 2), Greenhouse Gas Reduction Development Permit Area (DPA-3), and Multi-unit and Intensive Residential Development Permit Area (DPA 5) of the Official Community Plan.
- 2) **Development Variance Permit** in accordance with the Zoning Bylaw.



Application Request

The Town has received an application for construction of Lakewood Manor, a 30-unit senior's living apartment building at 46 Renfrew Avenue.

The proposal is subject to the guidelines of the Natural Hazard Lands –Wildfire Area (DPA 2), Greenhouse Gas Reduction Development Permit Area (DPA-3), and Multi-unit and Intensive Residential Development Permit Area (DPA 5) of the Official Community Plan.

The application requests a variance to Schedule B Parking Spaces of the Zoning Bylaw to increase by 2 (two) the number of permitted compact car parking spaces.

Review of Development Permit Application, DP002-2024

Official Community Plan

6.3 Guidelines of the Natural Hazard Lands Development Permit Area (DPA 2)

The proposal lies within the 200-year floodplain and all habitable space must be constructed at or above the Flood Control Level of 167.33 metres Geodetic Survey of Canada, taking precedence over the comment from the geotechnical report by LEA that 166.9 metres will suffice. The proposal satisfies guidelines related to the floodplain as noted in the cover letter to the application and represented in the Site Servicing Plan and Surface Works and Grading Plan prepared by Herold Engineering.

The wildfire hazard guidelines apply to the property. The report prepared by Strathcona Forestry Consulting concludes that if her recommendations are integrated into the project planning and design, the risk of wildfire can be reduced to ensure the safety of the intended housing for seniors.

A review of the submitted landscaping plan resulted in several modifications to the plan, specifically reduced shrub planting in FireSmart Zone 1a (0-1.5 metres) and elimination of all mulch within FireSmart Zone 1 (0-10 metres).

6.6 Guidelines of the Multi-unit and Intensive Residential Development Permit Area (DPA 5)

All guidelines are cited below. Comments are provided when pertinent.

- 1) New development relates positively to existing development in terms of its scale, form, and character.
 - a) Comment
 - i) Integrates well with new public library to the west and the town square to the north. It provides an important precedent in the envisioned taller and larger urban form.
- 2) A proper transition from less intensive use to more intensive use and vice versa is provided between new multi-unit residential developments and adjacent uses.
 - a) Comment
 - i) In this case the transition is merely the required zoning setbacks and landscaping. Additional transition is not feasible.
- 3) Vary form, architectural style, colour, texture, and finish materials.
 - a) Comment
 - i) A variety of building materials will be employed (See figure in Recommendations):
 - (1) Wood-Look siding, Rustic Series Mountain Cedar
 - (2) Panel siding, painted fibre cement panels with metal trim, Sherwin Williams Ice Cube and Benjamin Moore Iron Mountain
- 4) Use natural materials such as timber, stone, and brick for exterior finish highlights.
 - a) Comment
 - i) Wood look siding dominates much of the building.
 - ii) We have requested actual timber for entry highlights, however, the architect has advised, subject to the Cowichan Elder Care Society's approval, to use stone features instead on the first floor.
- 5) Vary roof lines in terms of pitch, height, and facade treatment.
 - a) Comment
 - i) Architectural articulation using extensions and retractions of form by up to a horizontal metre is employed.

- ii) The roof line is varied somewhat using aesthetically pleasing elevator shaft raised roof and shielding of mechanical equipment.
- 6) Provide landscaping, buffering, and fencing for the privacy for residents of the building and for adjacent property owners.
 - a) Comment
 - i) Extensive landscaping and appropriate fencing are provided. (see figure in Recommendations)
- 7) Design in keeping with the west coast climate with particular attention to rain related design that includes overhangs and covered walkways. The design of buildings should also acknowledge the varying influence of sunlight during the day and on a seasonal basis and should take advantage of natural light.
 - a) Comment
 - i) Windows on the south, east and west sides are as large as reasonably possible to take advantage of sunlight.
 - ii) The roof overhang has been extended to a metre.
- 8) Apply barrier free universal design principles to separate on-site pedestrian and vehicular traffic and to provide safe access and egress to buildings and to and from the site. Direct vehicular traffic away from local residential streets.
 - a) Comment
 - i) Barrier free entry at ground level via the parking lot as well as the second level from the sidewalk adjacent to the town square and library.
 - ii) Particular care has been given to designing ground floor access to scooters and bicycles.
- 9) Screen, buffer and landscape exterior public storage, service, refuse, loading and parking areas to minimize intrusions on adjacent uses.
 - a) Comment
 - i) Garbage and recycling facilities enclosed behind a fence and gate.
- 10) Finish pedestrian and parking areas with hard surfaces such as concrete, asphalt, brick, stone, stone pavers, or similar materials.
 - a) Comment
 - i) Concrete paving dominates.
- 11) Orient exterior lighting away from adjacent properties and onto the site under development.
 - a) Comment
 - i) Condition of approval to be shielded lighting and adequate 24-hour lighting in parking garage.
- 12) Apply the guidelines of Crime Prevention through Environmental Design (CPTED) for buildings, site design, landscaping, street lighting and amenities in a manner that promotes personal safety, visibility accessibility.
 - a) Comment

- i) Landscaping does not provide hiding spaces for lurkers.
- ii) Adequate lighting for the parking garage, entry, and outdoor gathering spaces has been provided.

Review of Development Variance Permit Application, DVP001-2024

The proposed variance is to the provisions of Schedule B Parking Spaces. Subsection 8.5.3 states that a maximum of 30% of parking stalls may be small car stalls. Such stalls have a reduced length of 4.6 metres instead of 5.5 metres.

Given the limited size of the parcel and the provision of indoor scooter and bicycle parking, it is reasonable to grant a variance permitting more than the maximum number of small car stalls.

Recommendations

For the three parcels:

- A. Lot B, Plan VIP73709, District Lot 12, Land District 17. PID: 025-413-449.
- B. Lot 6, Block 6, Plan VIP1231, District Lot 12, Land District 17, Except Plan PT lying NE of a boundary parallel to and perp distant 50 ft from the centre line of the cnrp rw as said centre line is shown on pl 1197 OS. PID: 007-699-875.
- C. That part of Lot 6 Block 6 District Lot 12 Cowichan Lake District Plan 1231 lying northeasterly of a boundary parallel to and perpendicularly distant 50 feet to the center line of the Canadian Northern Pacific Railway right of way as said centre line is shown on Plan 1197 OS. PID: 007-655-843.

the following:

I. Development Variance Permit, variance to the Zoning Bylaw:

Vary the maximum number of small car parking spaces stipulated in Schedule B Parking Spaces, by permitting 2 (two) additional compact car spaces above the 30% maximum.

II. Development Permit for the Natural Hazard Lands –Wildfire Area (DPA 2), Greenhouse Gas Reduction Development Permit Area (DPA-3), and Multi-unit and Intensive Residential Development Permit Area (DPA 5)

- a. Approval of the development as presented, with conditions, inclusive of the following specific site plan, landscaping plan, site fencing, and use of building materials as shown in the profiles herein and on file in the Town Office:
 - i. Prior to the building permit \$88,000 shall be provided as landscaping surety for a period of 2 (two) years.

- ii. Prior to building permit an amount to be determined shall be provided as infrastructure (sidewalks, curb, and gutter in public rights of way) for a period of 2 (two) years.

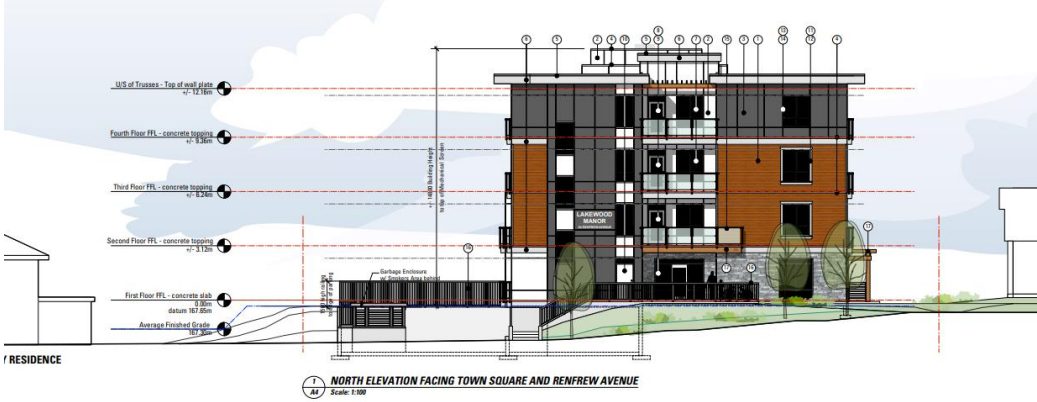


Figure 1 North Elevation Facing Town Square and Renfrew Avenue

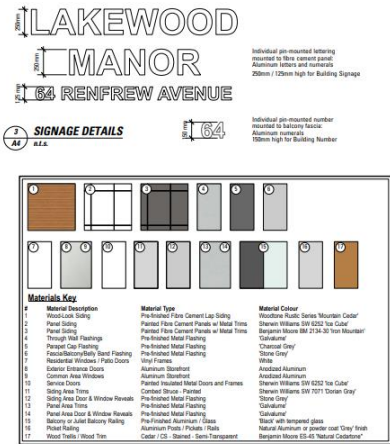


Figure 2 Materials Key



Figure 3 West Elevation Showing Patio Area

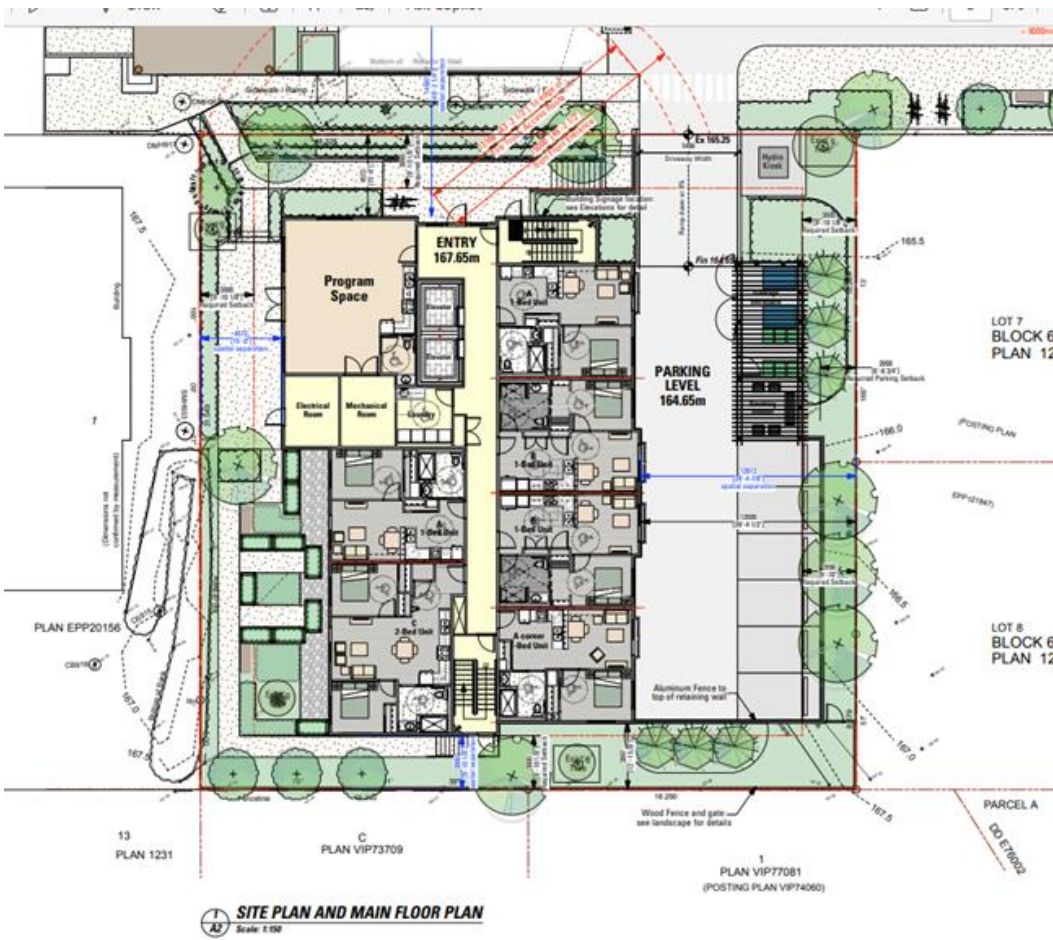


Figure 4 Site Plan and Landscaping

Respectfully submitted

A handwritten signature in blue ink, appearing to read 'James van Hemert', with a long horizontal flourish extending to the right.

James van Hemert, MCIP, RPP, Consulting Planner