



MEMORANDUM

TO: CHIEF ADMINISTRATIVE OFFICER
FROM: BRIGID REYNOLDS, CONSULTING TOWN PLANNER
SUBJECT: DP2025-05 – 112 ELK RD
MEETING DATE: JULY 22, 2025
SUBJECT PROPERTY: LOT 3, SECTION 5, RENFREW DISTRICT, PLAN EPP129962

Purpose

The purpose of this application is to consider approval of DP2025-05 to permit construction of a three unit, 2 storey building in the Watercourse & Streamside Protection Development Permit Area (DPA-1), Greenhouse Gas Reduction Development Permit Area (DPA-3) and Multi-Unit and Intensive Residential Development Permit Area (DPA-5).

Background

The subject property is 1,370 m² (.33 ac) in size and is zoned Multi-Unit Residential – (R-7 R). The lot is undeveloped, but some land clearing has taken place. The subject property was created in a recent subdivision. The applicant is proposing to construct a three unit, 2 storey building as shown on the site plan on Attachment 1. The property is adjacent to Elk Rd and a future (undedicated) road, Lindsay Lane.

The OCP designates the property within DPA-1 due to the proximity of the Tern Creek located on the east side of the property. The OCP also designates the property as being within DPA-3 for GHG reduction and DPA-5. These DPAs are triggered because three or more units are proposed to be constructed and the guidelines are intended to provide guidance to reduce GHGs and the form and character of the development.

An easement was registered on the title of the parent lot to provide access to the subject property. This area is proposed to form part of the new access road (Lindsay Lane) to the balance of the property.

In support of the application, the applicant has provided the following reports/documents:

- Letter of intent, prepared by the applicant, dated July 7, 2025
- Riparian Area Assessment Report, prepared by Madrone Environmental Services, dated June 28, 2022.
- Elevation Drawings, prepared by Cornerstone, dated May 6, 2025
- Site Plan and Landscape Plan, prepared by the applicant, dated March 3, 2025

Development Permit Areas

DPA-1 Watercourse & Streamside Protection

Tern Creek originates north of Youbou Road and flows through a culvert under Youbou and Elk Roads. It then flows south-easterly over land and through culverts to eventually flow into Cowichan Lake. Tern Creek is fish bearing. The Riparian Assessment report establishes a 10-m wide Streamside Protection and Enhancement Area (SPEA). The SPEA contains a large amount of native riparian vegetation and some invasive plants.

Conditions of this DP include the installation of silt fencing will be installed during construction to protect the riparian area and ensure the ecosystem is untouched during construction.

A section 219 covenant to protect the riparian area is required to be registered over the riparian area as a condition of this DP. Also required is the construction of a fence along the covenant line. This helps to clearly delineate that this is a sensitive area and is intended to be left in a natural state.

DPA- 2 Natural Hazard - Wildfire

The applicant does not require a DP for wildfire as covenant CB1373595 was registered at the time of subdivision to address the wildfire hazard development permit. The applicant has confirmed the following.

This roofing is class A fiberglass shingle. Exterior wall finishes are fiber cement siding with stone accents.

There are no chimneys. The eaves will be metal soffits. All windows are double panes. There are no balconies, porches or decks, sidewalks and patios will be concrete.

Natural ventilation and airflow is achieved through the inclusion of the maximum number of windows and high-efficiency, ducted, heat pump HVAC system. All appliances will be electric, along with an electric fireplace. There will be no gas appliances in the property.

The landscaping on the lands within 10 meters of the building does not include coniferous evergreen shrubs, nor are there any retained coniferous evergreens within 10m of the

development. The front yard will be covered with river rock and the rear yard will be seeded and soil. The porous materials throughout will ensure the natural absorption of rainwater.

DPA – 3 and 5 - GHG and Form and Character

The proposal is generally consistent with the DP guidelines. The building contains three dwelling units, each with their own garage. Each unit will have varying roof lines & pitch, with varying exterior earth tone colors to blend with the stone scape.

The exterior is hardi-plank board & batten, with ledgerstone accents, and asphalt shingles. Each unit will have backyard fencing for privacy and an elk fence will be installed along the back of the property to protect the riparian area. Building overhangs are 18" to provide rain coverage.

The building faces southwest providing great sun exposure. While the south end of the lot meets forest, the forested area will be part of a future development as such, once this development is completed, the sunlight to the property will be further increased on the southern side of the building.

Each unit will include parking for 2 cars, as required by the Zoning Bylaw. The building is also accessed from multiple sides to reduce activity on the main thoroughfare, Elk Rd.

Exterior lighting will be downcast and oriented away from adjacent properties.

Landscaping consists of trees and shrubs in the front yards as shown on the landscape plan.

Future Road

A portion of the parent parcel contains part of a future proposed road. Lindsay Lane is the future proposed name for the road, but this has not yet been approved by the Town. The road is intended to be constructed in the future when the parent lot is developed unpaved. Sidewalk, curb and gutter have been constructed on Elk Road.

An easement is registered over this area to provide access to the subject property and the units for construction access and eventually resident's access, when constructed. A statutory right of way is not yet registered over this area to allow access for Public Works Department.

Typically, the frontage for these lots would be developed as a condition of the building permit, but the applicant intends to develop the remainder of the lot in the future. Therefore, as a condition of this development permit, the applicant must provide security of 150% of the cost for preparing and installing curb, gutter and sidewalk, and the eventual paving in the event that the developer is unable to complete this work.

Public Notification

Development Approval Procedures and Notification Bylaw No. 1109-2024 and the Local Government Act Section 499 require notice a minimum of 10 days prior to Council's

consideration of the application. The notice was mailed out on July 10, 2025 and at the time of preparing the staff report no comments have been received.

Options

- 1) Approve the development permit.
- 2) Deny the development permit.
- 3) Request the applicant to submit additional information.

Recommendation

To approve DP2025-05 to permit construction of a three unit, 2 storey building in DPA 1, DPA 3 and DPA 5 at 112 Elk Road, on the lot legally described as Lot 3, Section 5, Renfrew District, Plan EPP129962 subject to the following conditions:

- All development shall be in accordance with Letter of intent, prepared by the applicant, dated July 7, 2025, Riparian Area Assessment Report, prepared by Madrone Environmental Services, dated June 28, 2022. Elevation Drawings, prepared by Cornerstone, dated May 6, 2025, and Site Plan and Landscape Plan, prepared by the applicant, dated March 3, 2025
- Prior to the issuance of the building permit the following shall be completed:
 - Registration of a section 219 covenant over the SPEA area on the certificate of title of the subject property.
 - Submittal of a landscape bond in the amount of \$7,500.00 to secure the landscaping.
 - Installation of silt fencing shall be installed along the SPEA to protect the riparian area and ensure the ecosystem is untouched during construction.
 - Register a statutory right of way over the area shown on Plan EPP129965
 - Submit security in the amount of 150% of the cost to prepare and install curb, gutter, sidewalk and paving for the area shown on Plan EPP129954
- Prior to final occupancy, construct a permanent fence along the covenant line to delineate the riparian area that shall not be developed.

Signed:

Brigid Reynolds

Brigid Reynolds RPP MCIP
Contract Planner

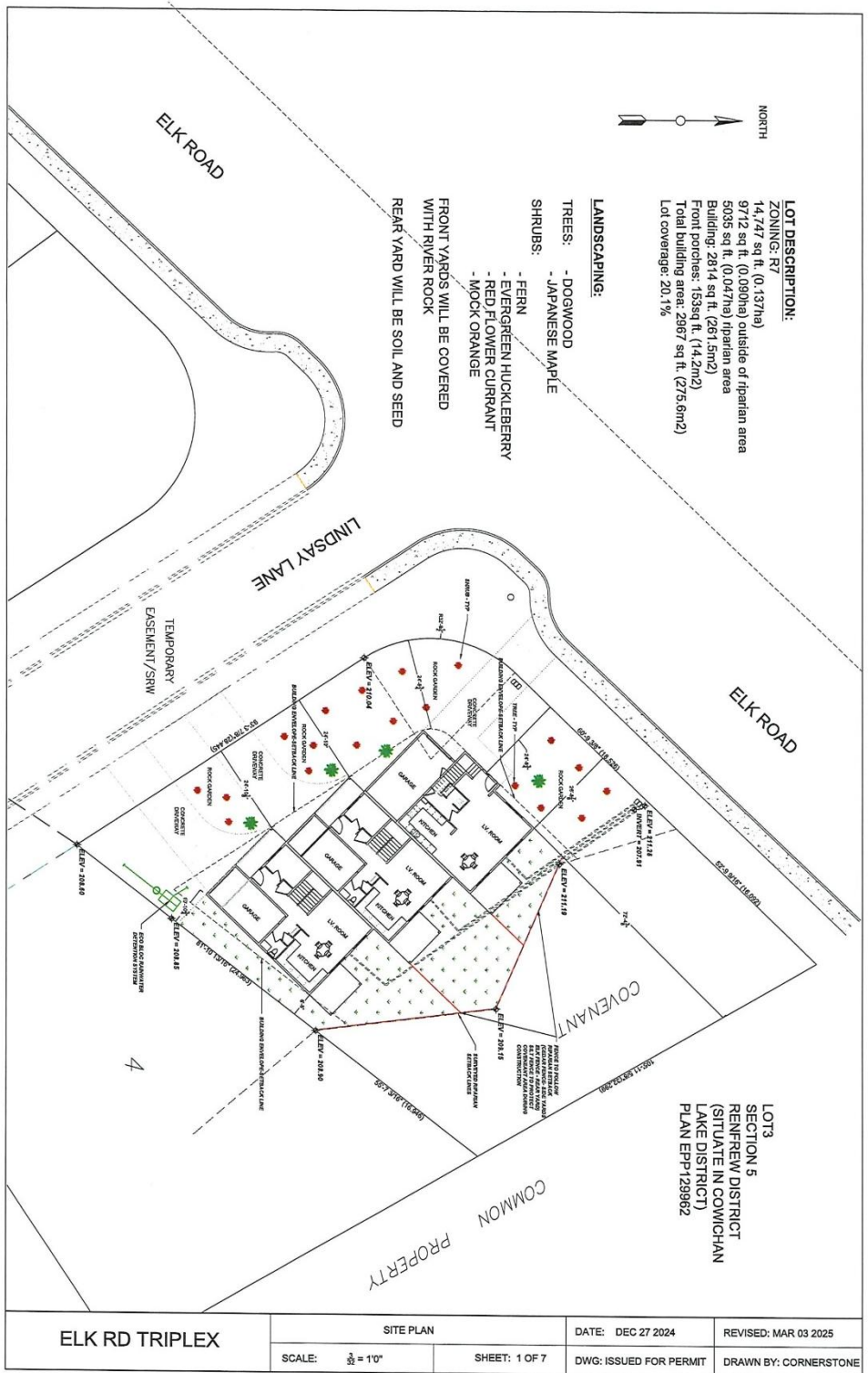
Concurrence:

John Thomas

John Thomas, MBA
Chief Administrative Officer

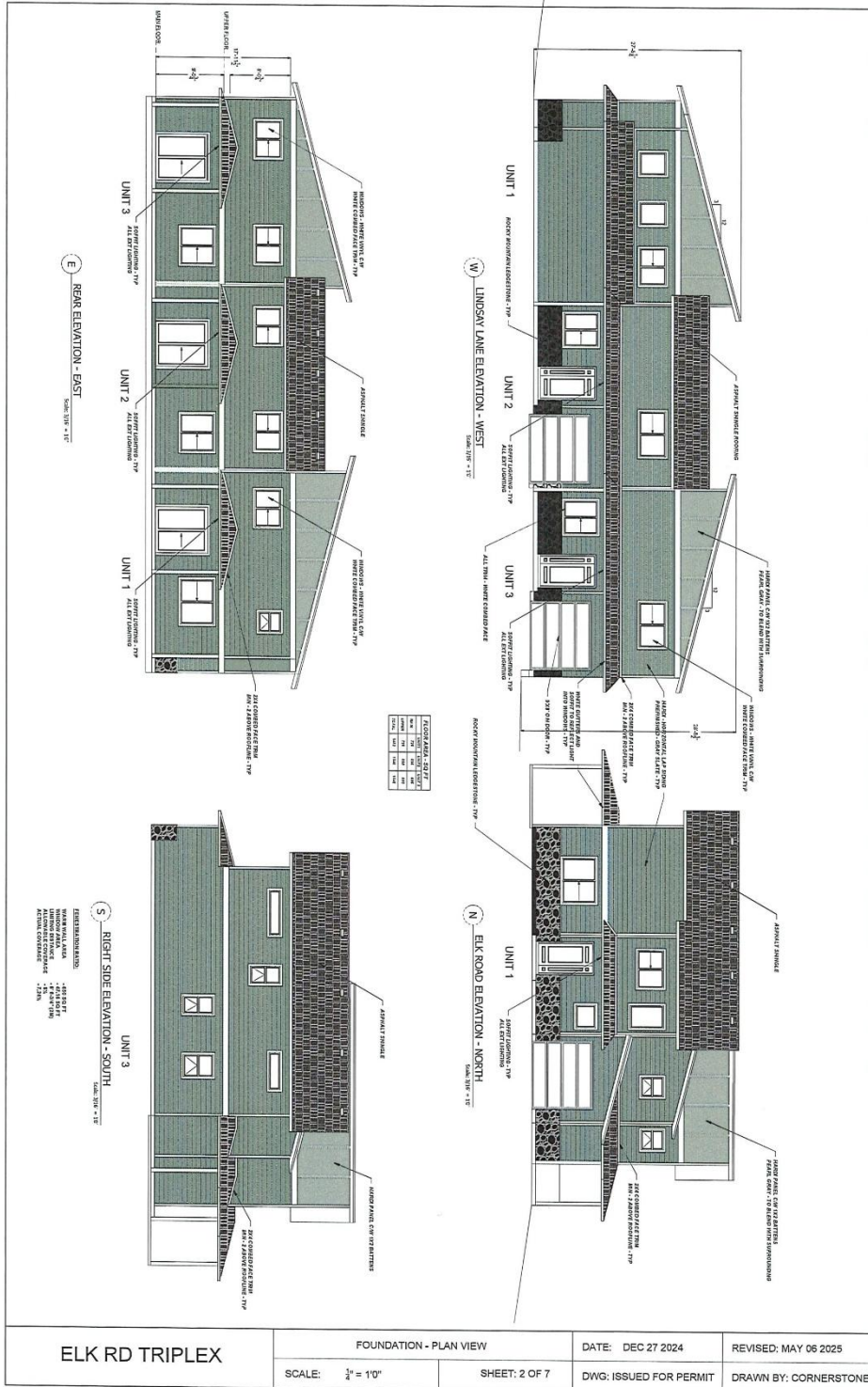
Attachment 1

Site Plan and Landscape Plan, prepared by the applicant, dated March 3, 2025



Attachment 2

Elevation Drawings, prepared by Cornerstone, dated May 6, 2025



Attachment 3
Letter of intent, prepared by the applicant, dated July 7, 2025,

Attachment 4

[Riparian Area Assessment Report](#), prepared by Madrone Environmental Services,
dated June 28, 2022