



July 7, 2025

Town of Lake Cowichan
39 S Shore Road
Lake Cowichan, BC V0R 2G0

Re: 112 Elk Road – Lot 3

Brigid,

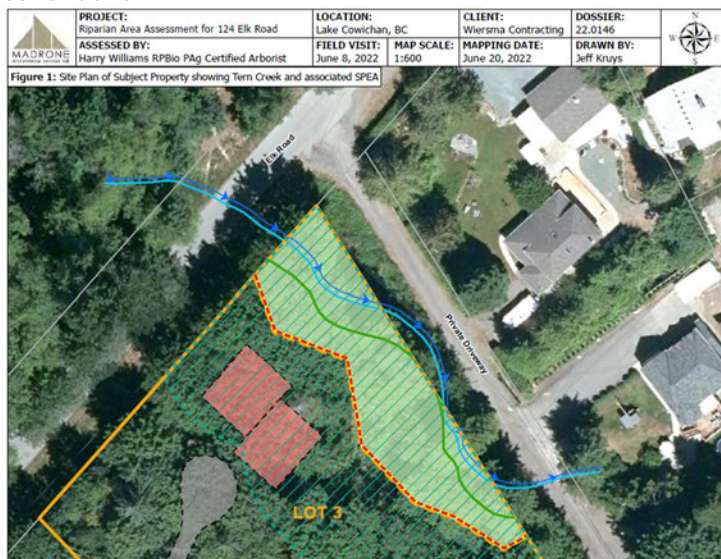
Thanks again for your time on June 9, 25 to outline the requirements for the 3-unit property at 112 Elk Road. We appreciate the confirmation of required applications (DPA1, DPA3, DPA5), while providing education on the requirements of the township.

This development is a 3-unit, 2 story building. As this development exceeds the 2-unit maximum for a regular building permit, we will articulate how we meet and exceed the requirement of each DPA identified on our call. Original drawings have been included along with additional visuals to illustrate the requirements of each DPA.

DPA-1 Watercourse & Streamside Protection Development Permit Area

To ensure the protection of the natural environment, its ecosystems and biological diversity, a riparian study was conducted to identify the appropriate setbacks for development. The complete riparian assessment report is attached. We have contacted the lawyer with the draft stream covenant to confirm its status as it is not showing on title.

Using the identified riparian area, the development was placed on the site outside of the riparian area. This area will be protected with elk fence to ensure minimal access to the riparian area. Silt fencing will be installed during construction to protect the riparian area and ensure the ecosystem is untouched during construction.



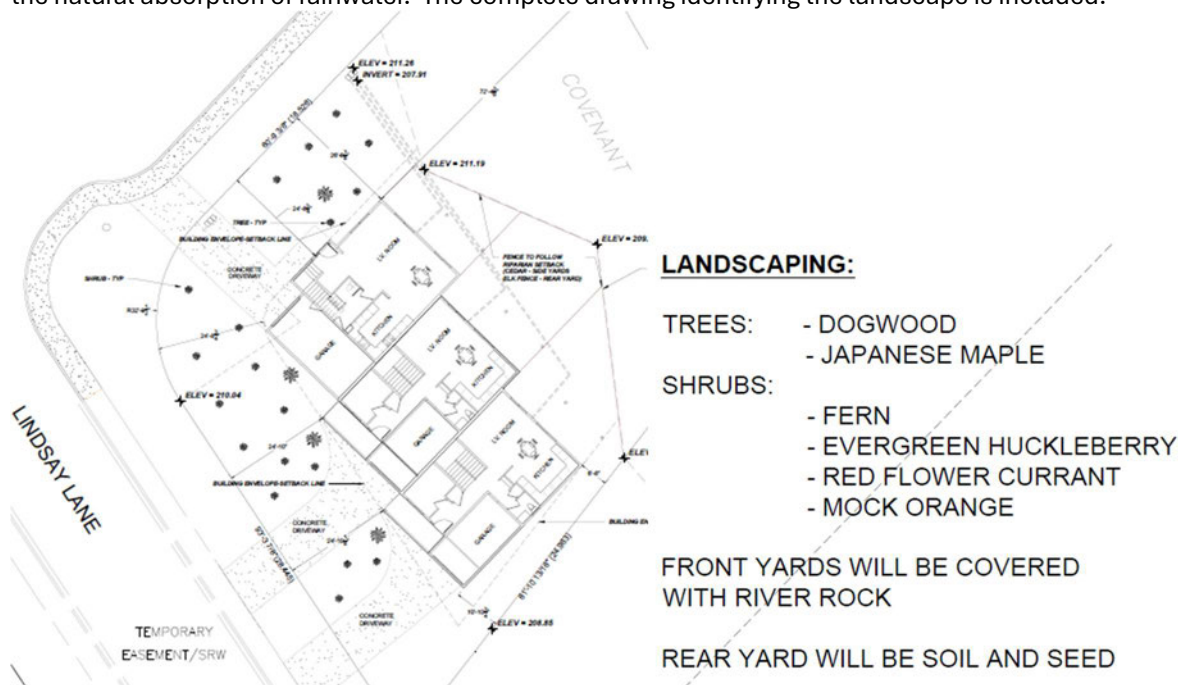
DPA-3 Greenhouse Gas Reduction Permit Area

This development is a 2-story building to minimize the building footprint and maximize green space, while satisfying the required riparian setback. The building faces southwest to maximize future solar orientation and gain. It will be in line with future development of neighboring lots to maximize site connectivity to nearby amenities and services. The title includes covenant CB1373595 to address the wildfire hazard development permit.

This roofing is class A fiberglass shingle. Exterior wall finishes are fiber cement siding with stone accents. There are no chimneys. The eaves will be metal soffits. All windows are double panes. There are no balconies, porches or decks, sidewalks and patios will be concrete.

Natural ventilation and airflow is achieved through the inclusion of the maximum number of windows and high-efficiency, ducted, heat pump HVAC system. All appliances will be electric, along with an electric fireplace. There will be no gas appliances in the property.

The landscaping on the lands within 10 meters of the building does not include coniferous evergreen shrubs, nor are there any retained coniferous evergreens within 10m of the development. The front yard will be covered with river rock and the rear yard will be seed and soil. The porous materials throughout will ensure the natural absorption of rainwater. The complete drawing identifying the landscape is included.



DPA-5 Multi-unit and Intensive Residential Development Permit Area (listed as DPA-6 on permit form)

This development is a 3-unit development and is one unit over the standard development permit maximum. It has been designed to maintain the scale, form and character of the surrounding properties and inline with future development in the area.

Each unit will have varying roof lines & pitch, with varying exterior earth tone colors to blend with stone scape. The exterior is hardi plank board & batten, with ledgestone accents, and asphalt shingles. Each unit will have backyard fencing for privacy and elk fence will be installed along the back of the property to protect the riparian area. Building overhangs are 18" to provide rain coverage.

The building faces south west and has great sun exposure. While the south end of the lot meets forest, the forested area will be part of a future development, as such, once this development is completed, the sunlight to the property will be further increased on the southern most side of the building.

Each unit will include 2-car parking to minimize on-street parking and eliminate congestion. The building is also accessed from multiple sides to reduce activity on the main thoroughfare, Elk Rd. Exterior lighting will be oriented away from adjacent properties.