Staff Report

Date: January 4, 2021

To: Chief Administrative Officer

From: James van Hemert, Consulting Planner

Re: **Application for a and Development Permit 130 Neva Road, Lot A, Section 6, Renfrew District Plan, VIP 55855**

APPLICATION:

The applicant proposes a ***Development Permit*** to support the addition of 4 roof gables on two buildings. The gables are of a similar design to those approved for the new entry and new gas bar roof in 2018.

BACKGROUND

Subject property and neighbouring property characteristics

The subject property is zoned C1 General Commercial and is currently occupied by a small 'strip commercial' centre and an Irly Bird lumber store and yard.

The surrounding property uses comprise Greendale Road Park and Riverside Edge Memorial Park to the south and across Cowichan Lake Road, single-detached residential to the west and north, and an OK Tire store across Neva road to the east.

NEIGHBORING PROPERTY OWNERS

Written notice of the applications is provided to all neighboring property owners and no comments have been received at the time of writing this report.

RELEVANT TOWN BYLAWS

Official Community Plan (2019)

The proposal is subject to Development Permit Area (DPA) 4 Highway Commercial, Neighbourhood Centre and Tourism.

The proposed gables are shown in Figures 1, 2 and 3 of this staff report as follows.

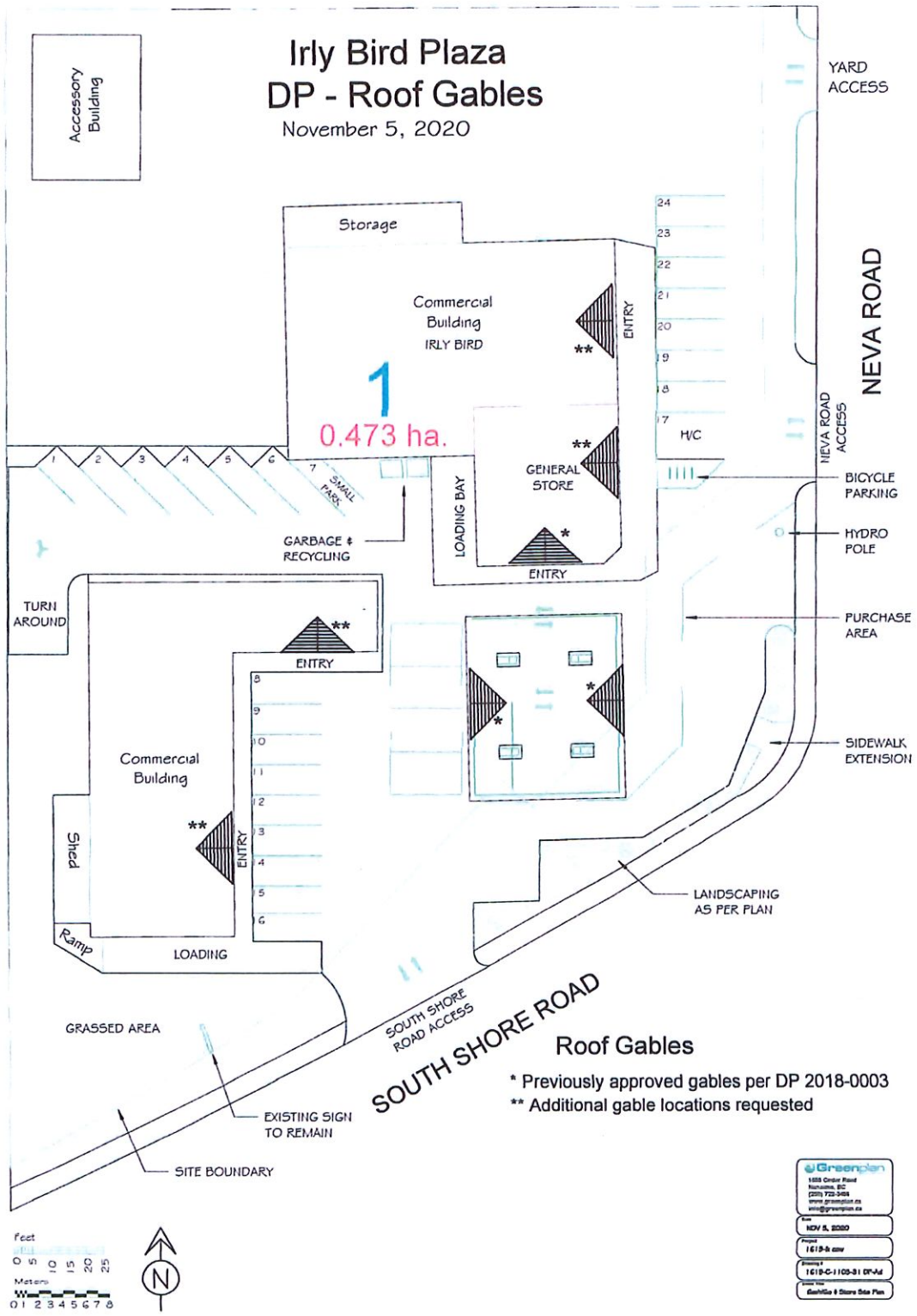

Figure 1 Plan view of previously approved and proposed additional gables

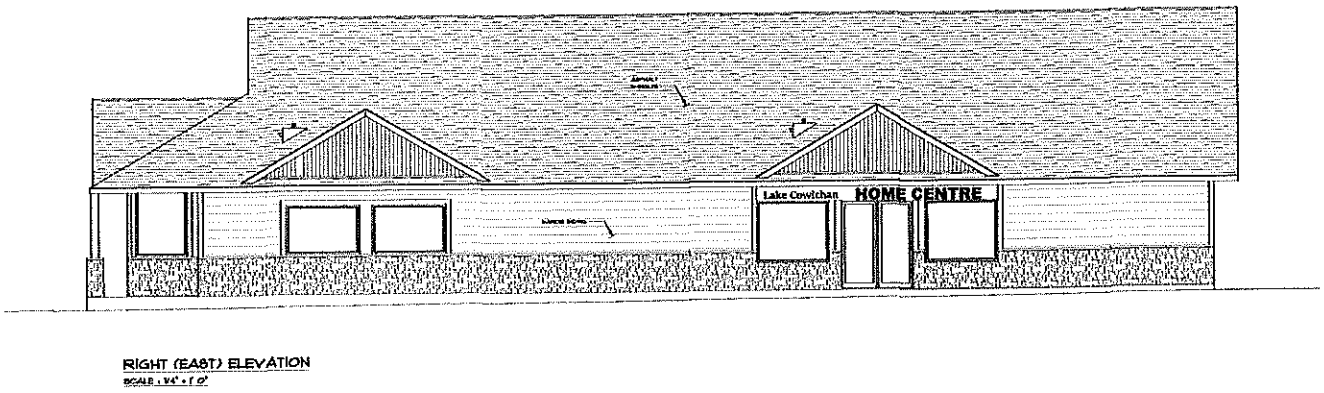

Figure 2 Elevation of proposed gables for convenience store / Home Centre building

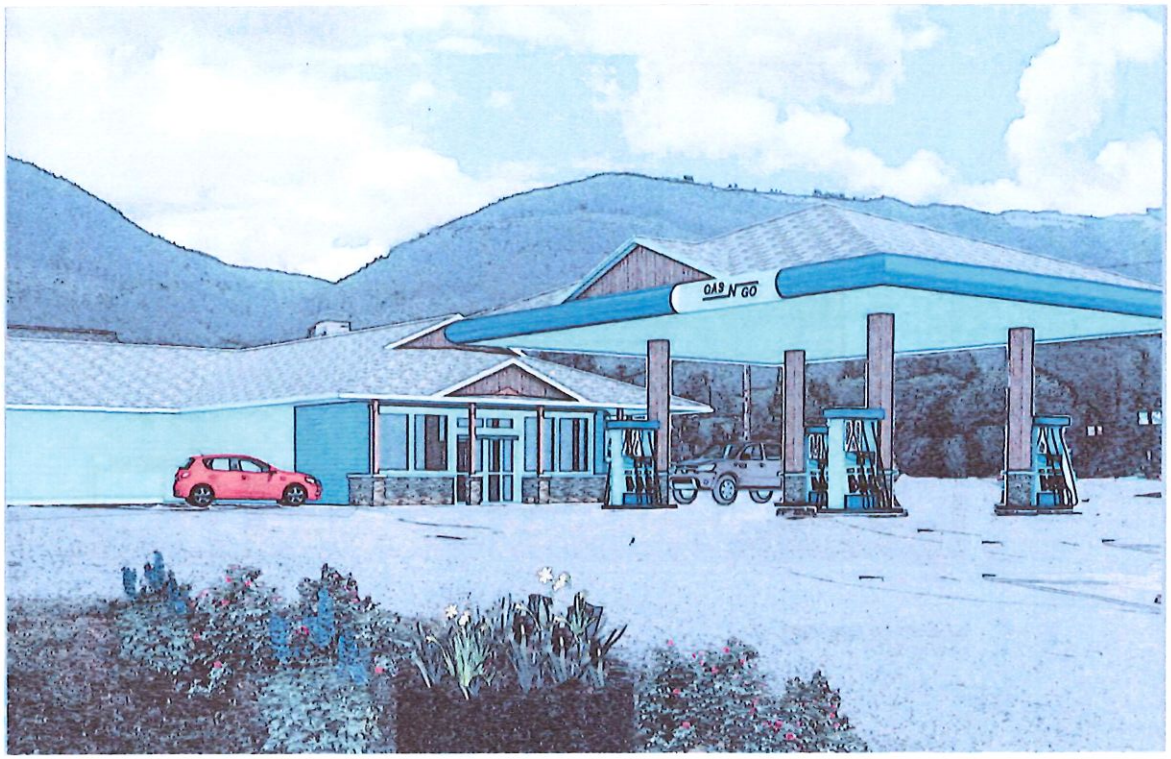

Figure 3 Illustration of colour and materials of gables

The relevant design-oriented guidelines applicable to the proposed gables are as follows:

6.5.4 Guidelines:

- Development shall generally reflect the bulk, mass, character, shape and form of adjacent buildings and acknowledges architectural, design and historic features of the area.
- Vary roof lines
- Extensively use natural materials for exterior finishing such as timber, board and battens, clapboard (hardiplank permitted), shingles, stone, and brick.

Comment: The proposed roof gables reflect appropriate architectural character and serve to vary the roof lines.

APPROVAL CONDITION:

Should Council wish to grant approval of the Development Permit, the following condition is proposed:

1. Approval of this Development Permit does not constitute approval of a Building Permit and any required sign permits.

James van Hemert, MCIP, RPP
Consulting Planner